

Agenda
Village of Glen Ellyn
Village Board Workshop
Monday, November 14, 2011
7:00 P.M. – Galligan Board Room
Glen Ellyn Civic Center

1. Call to Order

2. Historic District Presentation – Staff Liaison Strong

3. Recreation Department Stormwater Presentation – Recreation
Director Pekarek

4. Other Items?

5. Adjournment

MEMORANDUM

TO: Mark Franz, Village Manager

FROM: Kristen Schrader, Assistant to the Village Manager – ADM
Mike Strong, Planning Intern MS

DATE: November 8, 2011

RE: Downtown Historic District Update



Background

The purpose of this memorandum is to provide an update on the status of nominating a portion of the downtown as a National Register Historic District. One of the goals outlined in the Downtown Strategic Plan is to create a historic district in the Central Business District. This is a goal that has been discussed by the Historic Preservation Commission (HPC) for some time and was reaffirmed by the approval of the Downtown Strategic Plan in 2009.

In November of 2010, the Planning and Administration departments met to discuss the two options available for historic district designation, either locally or nationally. In local historic districts, property owners that want to alter their buildings are required to participate in a formal bureaucratic process that is cumbersome and can take four to five weeks to complete. It was determined, based on these review processes and restrictions, seeking a national register district would be a better option for the Village. Specific benefits to a national district include; it is seen as more prestigious, and therefore, more desirable; a formal review process (attached) for alterations, construction or demolition is only required if property owners are using state or federal funds; and it would contribute to the economic vitality of the downtown by promoting increased heritage tourism. It was for these reasons that it was decided to recommend that a nationally designated district be pursued.

Issues

The 2009 Downtown Plan proposes boundaries for a historic district in the central business district. These boundaries were defined based on the current inventory of outstanding, notable and contributing structures that make up this district. Since the approval of the Plan, the HPC has conducted further analysis with guidance from the Illinois Historic Preservation Agency (IHPA) to create more concise boundaries based on a redefined interpretation for how boundaries can be drawn. Final boundaries have yet to be determined, and the Village will seek counsel from a consultant when a nomination is written. The most recent boundaries developed by the HPC impinge on two redevelopment sites outlined in the Downtown Strategic Plan. Therefore, amendments to the district boundaries may be needed to ensure that the boundaries do not interfere with future redevelopment plans already developed by the Village.

Once boundaries are finalized and (if) a historic district is designated, projects that alter buildings or require construction of new buildings within the district will not have additional restrictions or review required, above the Village's typical review process (review and recommendation by

Architectural Review Commission, approval by Village Board). In a nationally designated historic district, IHPA review of such projects is only required if there are federal or state funds being used in the project. Additionally, TIF funds are only restricted if used to demolish a building. Even then, the project would only need to go through either a local or state review (IHPA still determining which review would be necessary). In general, creating a national register district does not appear to greatly impact the implementation of development projects or a TIF District.

The final step involved in nominating a historic district will be writing the nomination and submitting it to the IHPA. In September, Village staff met to discuss the Certified Local Government Grant that is administered by the Illinois Historic Preservation Agency. In the past, the Village applied for this grant to fund Architectural Resources Surveys conducted by Granacki Historic Consultants. In anticipation for the grant in 2011, the Village budgeted \$20,000 for another CLG grant to conduct a survey. Unfortunately, architectural resource surveys are not eligible for grant funding in 2011. Therefore, Village staff made the recommendation that a CLG grant be pursued to cover a portion of the funding necessary to hire a consultant to draft a nomination for a nationally registered historic district in the Central Business District. This project is projected to cost the Village approximately \$8,500, which if a grant is awarded; a nomination would cost the Village less than \$4,000.

A CLG grant was submitted to the IHPA on October 17, 2011. Village staff is expecting to hear back regarding the status of the grant and award sometime in March of 2012. The Village does not plan to move forward with the nomination process or determination of boundaries until an update is received from the IHPA regarding the grant.

A timeline for the nomination process was outlined in the grant application. If a grant is awarded to the Village, an RFP to hire a consultant to write a nomination could be sent out as early as April of 2012. Based on conversations with Granacki Historic Consultants, a nomination may take two to three months to write, the Village could submit a nomination for a National Register Historic District by the fall of 2012.

Recommendation

No recommendation is needed, this memorandum is for informational purposes only.

Action Requested

No action is requested, this memorandum is for informational purposes only.

Attachments

- Memorandum dated September 2, 2011
- Historic District Boundaries from the 2009 Downtown Plan
- Revised Historic District Boundaries

cc: Staci Hulseberg, Planning and Development Director
Michele Stegall, Village Planner

MEMORANDUM

TO: Kristen Schrader, Assistant to the Village Manager - ADM *KS*

FROM: Andrew Letson, Administrative Intern *AL*
Michael Strong, Planning Intern *MS*

DATE: September 2, 2011

RE: Downtown Historic District – Impact on Properties/Grant Opportunity



Impact on Properties

Background

In 2009, the Village Board approved the Downtown Strategic Plan. One of the recommendations of the plan was to designate a portion of the downtown as a historic district. Going forward, the Village had two options; it could designate the downtown as a local historic district or nominate it for placement on the National Register of Historic Places.

The Planning and Administration teams met to discuss these two options to make a recommendation to the Historic Preservation Commission. It was decided to recommend a nationally designated district because it would impose fewer restrictions on business/property owners and would be more prestigious for the community.

Issues

Earlier this year, the Historic Preservation Commission provided preliminary information (i.e. pictures, information about the buildings and proposed boundaries) to the Illinois Historic Preservation Agency (IHPA) who would provide feedback on the feasibility of a nomination. The Village staff received a letter dated August 8, 2011 that included the requested feedback from the IHPA (attached). Their response indicated that the Village should consider nominating two smaller districts rather than one large district. In addition, they made some recommended changes to the boundaries, shrinking each district and pulling some parcels out of the proposed boundaries.

The new boundaries do not overlap with any of the potential redevelopment sites outlined in the Downtown Strategic Plan. Therefore, a historic district would have no impact on the redevelopment plans already developed by the Village. In addition, there are very few restrictions placed on buildings located in nationally registered historic districts. In a nationally designated historic district, review of any construction is only required if there are federal or state funds being used in the project. Additionally, TIF funds are only restricted if used to demolish a building. Even then, the project would only need to go through either a local or state review (IHPA is still working to determine which review would be necessary).

The Administrative Intern contacted three communities to determine if a nationally registered historic district has caused any issues for the municipality or any businesses or property owners. Two communities responded to the inquiry (Hinsdale and Lake Forest). Neither community indicated that there had ever been an issue that they knew of, due to the restrictions of the historic district.

Grant Opportunity

Background

The Village has been awarded three separate Certified Local Government (CLG) grants by the IHPA to conduct architectural resource surveys across the Village. The surveys were completed in 2007, 2009 and 2010. Each of these surveys cost \$20,000. The Village had to pay the full cost up front, but \$14,000 was reimbursed per grant. In 2010, the Village's grant application was denied due to the fact that the Village had not received enough landmark nominations from homeowners whose properties had been surveyed.

Issues

The Village had budgeted \$20,000 in anticipation of applying for another CLG grant in 2011 to conduct another survey. Unfortunately, architectural resource surveys are not be eligible for grant funding in 2011. However, this year hiring a consultant to complete a national register nomination is an eligible use of funds.

Last year, the Planning and Administration teams decided not to pursue hiring a consultant to complete the nomination form due to the high cost and the lack of funding available in the budget. However, a consultant who has experience nominating a district and is knowledgeable of historic architecture will have a greater ability to draft a successful nomination.

Last year, the Village requested a rough quote from Granacki Historic Consultants (the company that conducted the architectural resources surveys) to determine how much it would cost for them to draft a nomination for the central business district. They quoted approximately \$8,500. This quote is for a nomination of a historic district much larger than the one currently proposed. The actual cost to hire a consultant is likely to be much less. However, if the Village is awarded a CLG grant for the purpose of nominating a historic district, it will still be required to pay 30% of the cost of the consultant. The other 70% of the cost will be covered by the grant.

Recommendation

It is recommended that the Village pursue a Certified Local Government Grant to cover a portion of the funding necessary to hire a consultant to draft a nomination form for a nationally registered historic district in the Central Business District.

If a grant is not awarded to the Village, it is recommended that the Village staff, in coordination with the Historic Preservation Commission, draft a nomination form for a nationally registered historic district in the Central Business District.

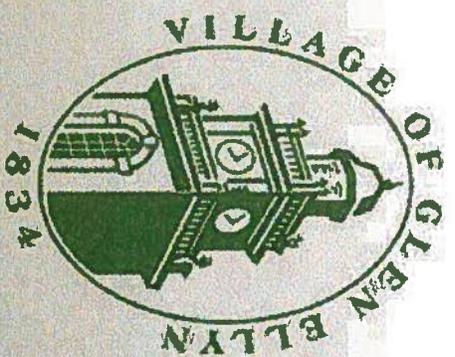
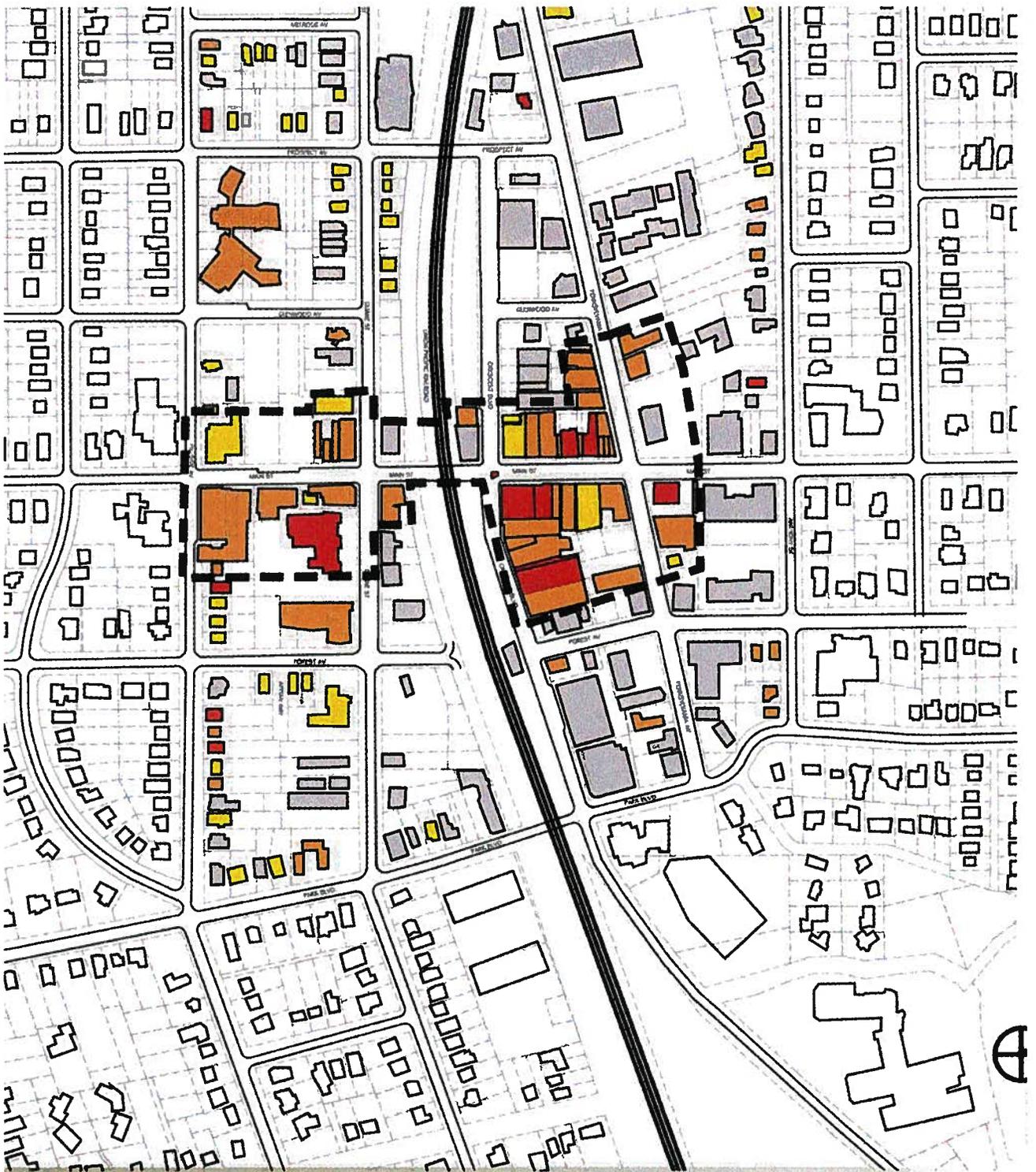
Action Requested

The Village Manager is requested to provide feedback on whether or not he feels comfortable in moving forward with the nomination process.

The Village Manager is also requested to provide feedback on whether or not the Village should pursue grant funding to hire a consultant who would complete the necessary work to nominate a portion of the downtown as a historic district.

CC: Staci Hulseberg, Planning and Development Director
Michele Stegall, Village Planner

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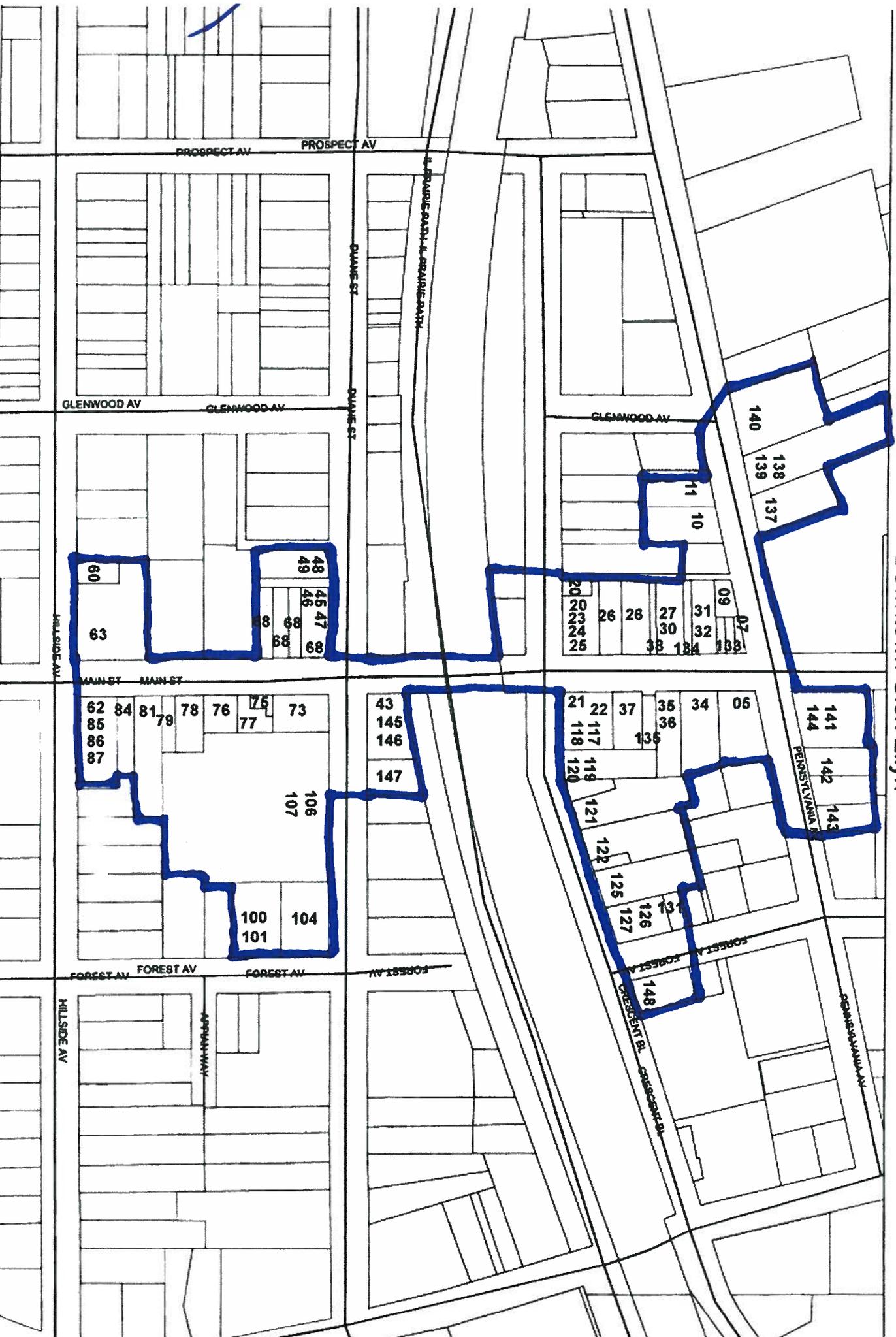


-  PROPOSED HISTORIC DISTRICT
-  "OUTSTANDING" HISTORIC STRUCTURES
-  "NOTABLE" HISTORIC STRUCTURES
-  "CONTRIBUTING" HISTORIC STRUCTURES
-  "NON-CONTRIBUTING" STRUCTURES



Village of Glen Eilym
 Downtown Strategic
 Plan

Downtown Glen Eilyn



Numbers On Map Correspond To Picture Numbers On Chart