

**Agenda**  
**Village of Glen Ellyn**  
**Village Board Workshop**  
**Monday, June 27, 2011**  
**7:00 P.M. – Galligan Board Room**  
**Glen Ellyn Civic Center**

1. Call to Order
  
2. College of DuPage Update – Village President Pfefferman
  
3. 810 N. Main Street – Interim Village Manager Burghard
  
4. Other Items?
  
5. Adjournment



The Monadnock Building  
53 West Jackson Suite 650  
Chicago IL 60604  
312 408 1661 fax 312 408 1496

## **BUILDING REPORT**

June 21, 2011

Mr. Terry Burghard  
Interim Manager  
Village of Glen Ellyn  
535 Duane Street  
Glen Ellyn, Illinois 60137

RE: 810 North Main Street - Evaluation

Dear Terry,

The following is a Building Report in a letter format which defines the results of our investigation of a property known as 810 N. Main Street, Glen Ellyn, Illinois.

The subject property - 810 N. Main Street (8NM) is currently a three story residential building that is attached to a masonry commercial building to the east. 8NM is identified on a Site Plan attached to this report.

In general, the focus of this report is to ascertain the building components that need to be repaired or replaced in order to renovate 8NM to become a viable commercial property that is competitive with similar properties in Glen Ellyn. The estimated scale and cost of the renovation process includes regulatory compliance, restoration of historic components, and the installation of architectural amenities to create a competitive commercial office space.

### **HISTORIC CONTEXT**

The subject property is located on the east side of the area designated as the Glenn Ellyn Historic District. While the 810 North Main Building is not designated on the National Register of Historic Places, it is a building that represents an architectural style and building method that was prevalent in the United States in the early part of the twentieth century.

The subject building is an example of early 20th Century rusticated concrete block design and construction. From approximately 1900 – 1930 rusticated concrete block (also known as RCB, rock-faced block, or pitched faced block) was introduced in the United States as a cost effective alternative to dressed building veneer stone. The combination of convex, half round mortar joints and the

rusticated veneer is an example of a manufactured concrete block that bridges between the Victorian area rusticated stone (with convex mortar joints) and smooth faced concrete block that is prevalent from the mid twentieth century through present day.

The rusticated block was created to resolve the problem in the United States in the late nineteenth century with the dwindling supply of quality wood and affordable natural stone. Most frequently, the RCB technique was employed only on the principal facade. The subject property is a good example of RCB on all four facades.

## BUILDING CONDITION

Until recently, the 8NM building has been occupied as a multi-family residential complex with apartment units on each of the three floors. The exterior facades are composed of RCB with flat-faced concrete lintels, sills, and decorative patterns adjacent to all window and door openings.

The proportion of openings on the facade reflects the internal needs of the building rather than a measured symmetry and proportional arrangement of balanced facade openings. In addition, the connection with the multi-story commercial building to the east has severely altered the eastern facade of the subject building.

While in general the condition of the exterior masonry is good to fair, there are several areas where distress or deterioration of the concrete needs repair or replacement. In addition, there are several areas (especially on the north facade) where the porous concrete has become discolored and needs cleaning and repair. The installation of utility lines, especially on the north facade, has severely compromised the appearance of the RCB facade – a more sensitive utility installation would help the visual appearance of the building

Where the exterior of 8NM has been relatively well preserved, the interior has been dramatically altered from its original design. Only on the third floor are the majority of original wood trim, floor, and doors still in place. The basement and first floor have recently installed kitchens, bathrooms, and trim details that have removed most of the original architectural details.

## COST ESTIMATE

Based on a tour with a general contractor, the following are estimates of construction costs for the repair or replacement of categories of construction elements.

## ESTIMATED CONSTRUCTION COST

<u>Item</u>	<u>Estimated Cost</u>	
	<b>Low</b>	<b>High</b>
• Roof (replace)	\$ 7,000	- 10,000
• Exterior Walls (repair and clean)	\$ 5,000	- 10,000
• Windows (replace)	\$14,000	- 25,000

• Stair (steel exterior stair)	\$12,000 - 15,000
• Site Work (parking, landscaping)	\$25,000 - 35,000
• Utilities	
• Electrical (service, distrib, low v)	\$15,000 - 20,000
• Plumbing (supply, distrib. fixtures)	\$15,000 - 22,000
• Mechanical (forced air, ductwork)	\$20,000 - 25,000
• Life Safety (sprinklers, alarms)	\$10,000 - 15,000
• Toxic Remediation (mold, etc.)	\$ 5,000 - 10,000
• Architectural (finishes, partitions, millwork)	\$25,000 - 35,000
• Elevator (3 flr access)	\$75,000 - 90,000
• Contingency (%)	\$15,000 - 20,000
• Fees, Gen Conditions	<u>\$40,000 - 60,000</u>
<b>Total</b>	<b>\$283,000 - 392,000</b>

### SUMMARY

The 810 North Main Street Building represents a good example of rusticated block construction and design. In the span of Glen Ellyn's history, the 810 N Main Building represents a building technology and architectural style of the early 20<sup>th</sup> Century of which there are few equivalent examples in the area.

The subject building has had severe alterations to one primary facade (east) and the interiors. The condition of the building envelope has not been well maintained and will require cleaning and repair. The conveyance systems (stairs and elevator) will need to be replaced or newly installed.

All major utilities, mechanical, electrical and plumbing need extensive rework. Life safety equipment (sprinklers and fire detection system) need to be installed. Interior architectural partitions, finishes, and amenities (data service, flooring, acoustic ceiling, etc.) will need to be entirely new. Without a Phase One analysis, the estimated amount of toxic material remediation must include a large cost range.

Most of the area of the lower level is below the minimum code allowed ceiling height and without major alteration, could only be used for mechanical space or storage.

In conclusion, the 810 North Main Street Building is good example of early RCB construction, but the current condition of the building demands extensive renovation and new construction for use as a viable commercial property.

Sincerely yours,

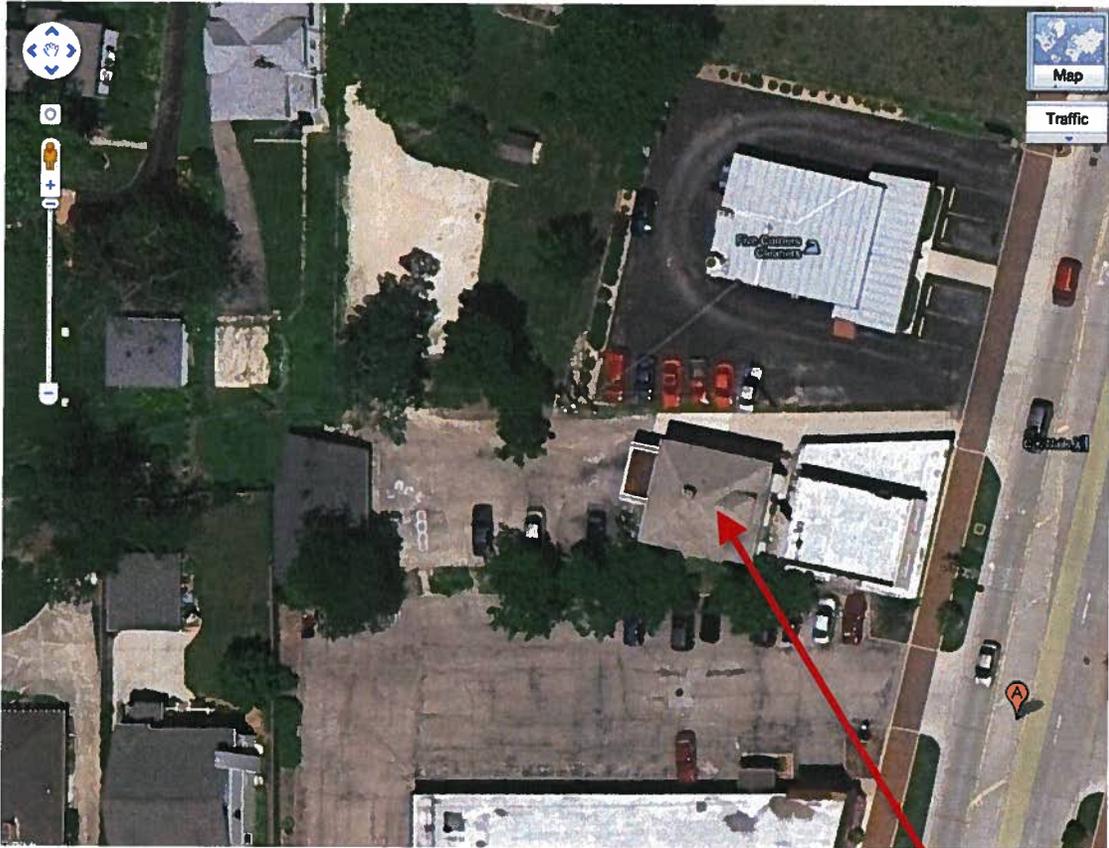


Jonathan Boyer, AIA  
Principal & Director of Architecture

Farr Associates – Architecture | Planning | Preservation



The Monadnock Building  
53 West Jackson Suite 650  
Chicago IL 60604  
312 408 1661 fax 312 408 1496



**SITE PLAN: 810 North Main Street, Glen Ellyn, IL**

# 810 North Main Street, Glen Ellyn, Illinois

## Photographs of Existing Building

### Exterior



**South Elevation 1**



**South Elevation 2**

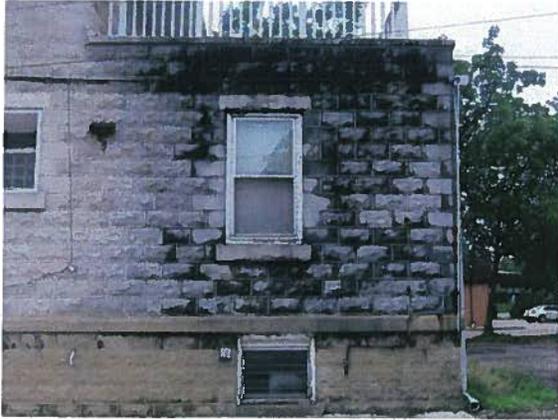


**West Elevation 1**



**West Elevation 2**

## Exterior Details



**West Elevation Detail**



**West Stair**



**Window Detail**



**Masonry Detail 1**

## Exterior & Interior



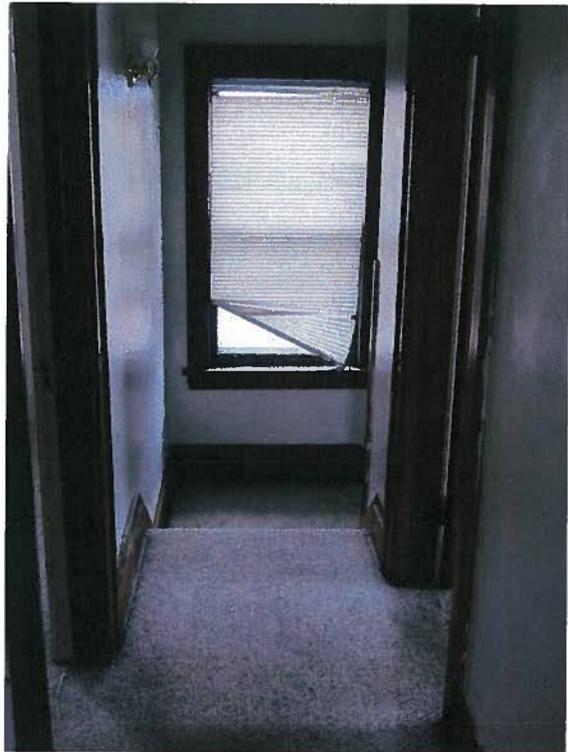
**Connected Building to East**



**Masonry Detail 2**



**Interior Millwork**



**2nd Floor Hallway**

Interior



**2nd Floor Kitchen**

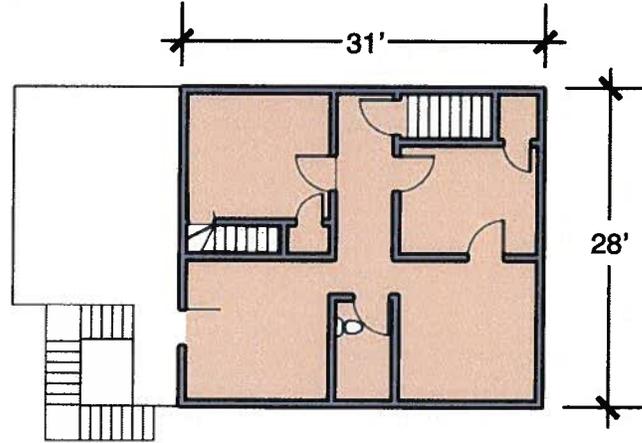


**2nd Floor Bathroom**

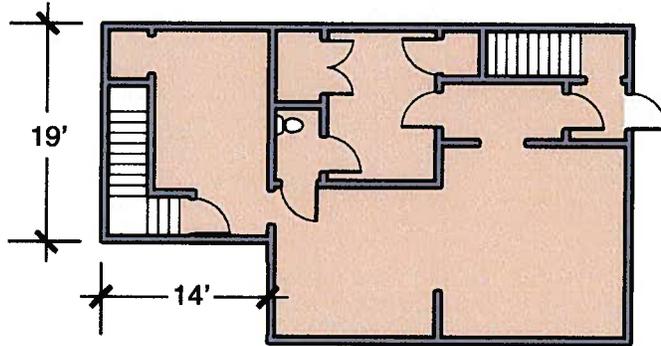
# Schematic Floor Plans

## 810 N. Main Street

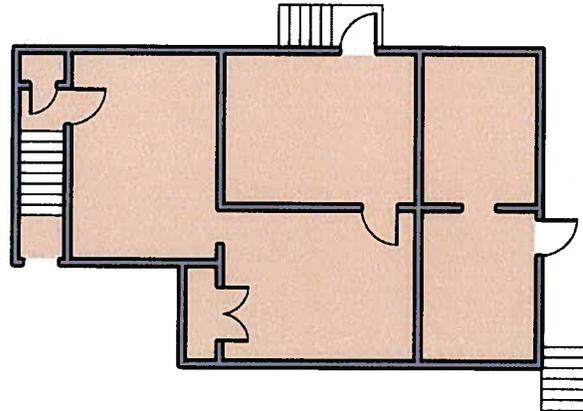
Second Level



Ground Level



Lower Level



**FARR ASSOCIATES**  
Architecture | Planning | Preservation

The Monachnock Building  
53 West Jackson Blvd. Suite 650  
Chicago, Illinois 60604  
(312) 408 1661 fax (312) 408 1496

Village of Glen Ellyn  
June 22, 2011  
SCALE 1/16" = 1'-0"

Note: dimensions are approximate